

ROOFING REPAIRS

LEE G. ALWORTH BUILDING

207 WEST PHILLIPS
CONROE, TEXAS 77301

COURT ANNEX A

210 WEST DAVIS STREET
CONROE, TEXAS 77301



BLUEFIN LLC CORPORATE OFFICE
6312 S. Fiddlers Green Circle Suite 100E
Greenwood Village, CO 80111
TEL: 866-735-0728



Montgomery County, Texas



AERIAL SITE PHOTO

DRAWING INDEX

- C1.0 COVER PAGE
- R1.0 ROOF PLANS
- R1.1 ROOF DETAILS
- R1.2 ROOF PHOTOS

DRAWING TITLE
COVER PAGE

SHEET NUMBER
C1.0

PROJECT
ROOFING REPAIRS
LEE G. ALWORTH BUILDING
207 WEST PHILLIPS
CONROE, TEXAS 77301

COURT ANNEX A
210 WEST DAVIS STREET
CONROE, TEXAS 77301

MONTGOMERY COUNTY TEXAS

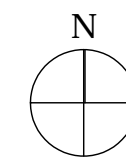


NOTES:

- ① ALL REPAIRS TO BE PERFORMED IN ACCORDANCE WITH INDUSTRY STANDARDS.
- ② INSTALL EPDM SEAM COVER TAPE ON ALL SEAMS CURRENTLY WITHOUT IT.
- ③ ADHERE ALL LOOSE EPDM MEMBRANE ON WALLS.
- ④ INSPECT ALL EPDM ON THE WALLS FOR DAMAGE SUCH AS HOLES AND CUTS. REPAIR ANY DAMAGE FOUND USING MATERIALS OF LIKE, KIND AND QUALITY.
- ⑤ SPUD AROUND ALL SERVICE LINE PENETRATIONS AT ROOF TOP UNITS ON THE SOUTH SIDE OF THE STANDING SEAM ROOF AREA. CLEAN, PRIME AND INSTALL 3-COURSE OF LIQUID RESIN FLASHING. ALLOW TO CURE AND COAT WITH FIBERED ALUMINUM ROOF COATING. WHERE FREON LINES OCCUR, COORDINATE SHUTDOWN OF ANY UNITS WITH THE OWNER PRIOR TO COMMENCING WORK. FOLLOW RESIN MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF FLASHING MATERIAL TO FREON LINES.
- ⑥ SPUD ROOF BACK 12"-18" FROM EXTERIOR WALL. REMOVE EXISTING COPING AND BASE FLASHINGS. PREPARE AND PRIME SPURRED ROOF SURFACE.
- ⑦ INSTALL NEW CANT STRIP AND FIRE-TREATED WOOD NAILERS. INSTALL NEW BASE FLASHINGS AND COPING AROUND ENTIRE PERIMETER AS DETAILED.
- ⑧ 100% TIE-OFF IS REQUIRED BY ALL CONTRACTOR PERSONEL WORKING AT THE PERIMETER. NO SAFETY DAVITS ARE PRESENT. CONTRACTOR IS REQUIRED TO PROVIDE ALL SAFETY MEASURES NECESSARY.

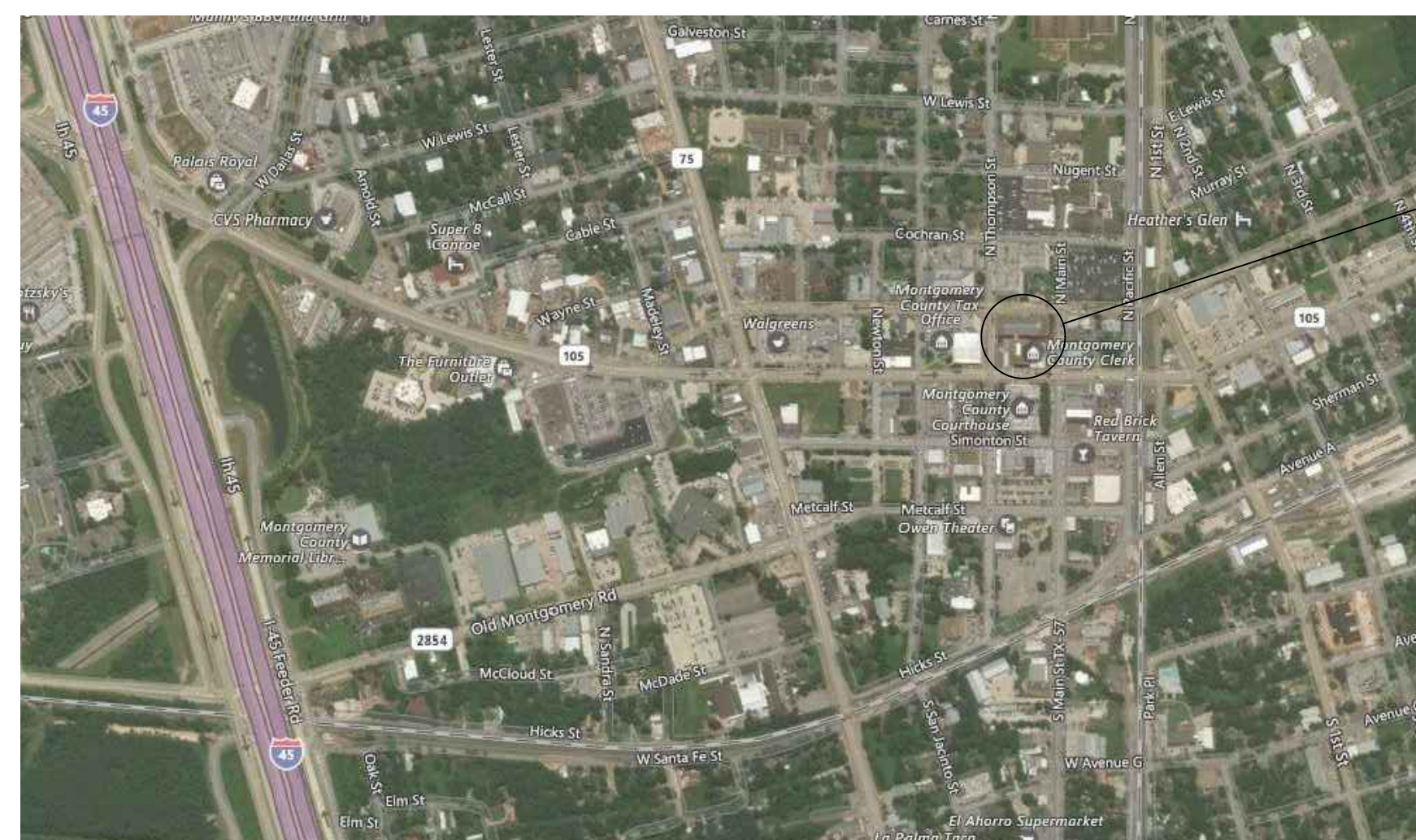
DETAIL REFERENCE ROOF PLAN

N.T.S



GENERAL NOTES:

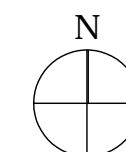
1. DRAWINGS ARE PRODUCED AT TABLOID (24-INCH BY 36-INCH) SIZE. PLEASE NOTE AND VERIFY THE SCALE INDICATED ON EACH DRAWING. NOTE THAT ROOF PLANS AND OTHER PROJECT DRAWINGS PRODUCED ON OTHER PAPER SIZES MAY NOT BE CORRECTLY SCALED.
2. ALL COMPONENTS SHOWN ON PROJECT DRAWINGS ARE NEW UNLESS SPECIFICALLY INDICATED AS EXISTING.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EXISTING PROJECT SITE CONDITIONS. THESE CONDITIONS INCLUDE, BUT ARE NOT LIMITED TO: BUILDING DIMENSIONS AND PROPOSED PROJECT STAGING LOCATIONS, ROOF REPLACEMENT AREA DIMENSIONS, ROOF DRAINAGE COMPONENT LOCATIONS, ROOF PENETRATION LOCATIONS, EXISTING ROOF SYSTEM COMPONENT MAKE-UP AND THICKNESS, AND PROJECT REPAIR QUANTITIES (IF APPLICABLE). THE CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE SITE AND BUILDING PRIOR TO PROPOSAL SUBMISSION. INCLUDE THE COST OF ALL WORK DESCRIBED IN THE BIDDING DOCUMENTS AND THAT IS REQUIRED OR REASONABLY IMPLIED TO ACHIEVE THE DESIGN INTENT OF THE BIDDING DOCUMENTS. NOTIFY THE ROOF CONSULTANT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND THE NEW WORK, OF ANY OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK INCLUDING THE COORDINATION WITH OTHER TRADES.
4. PRODUCTS PROPOSED FOR USE AND PROJECT WORK SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL GOVERNING ORDINANCES, CODES AND REGULATIONS. NOTIFY THE OWNER IMMEDIATELY OF CONFLICTS BETWEEN THE SPECIFIED PRODUCTS AND/OR PROJECT WORK REQUIREMENTS AND CODES, ORDINANCES AND/OR REGULATIONS.
5. IF DISCREPANCIES ARE DISCOVERED WITHIN THE PROJECT MANUAL OR DRAWINGS; THE OWNER, NOT THE CONTRACTOR, SHALL DETERMINE THE INTENT OF THE DESIGN AND PROVIDE CLARIFICATION. NO ALLOWANCE SHALL BE MADE FOR CONTRACTOR MISINTERPRETATION OR IMPLIED MISINTERPRETATION OF THE PROJECT MANUAL AND DRAWINGS.
6. REFER TO THE PROJECT MANUAL AND ROOFING SYSTEM MANUFACTURER WRITTEN INSTRUCTIONS FOR FURTHER CLARIFICATION OF PROJECT REQUIREMENTS. NOTIFY THE OWNER IMMEDIATELY OF CONFLICTS BETWEEN THE SPECIFIED DESIGN REQUIREMENTS AND THE WRITTEN REQUIREMENTS AND RECOMMENDATIONS OF THE ROOFING SYSTEM MANUFACTURER.



PROJECT LOCATION

LOCATOR PLAN

N.T.S



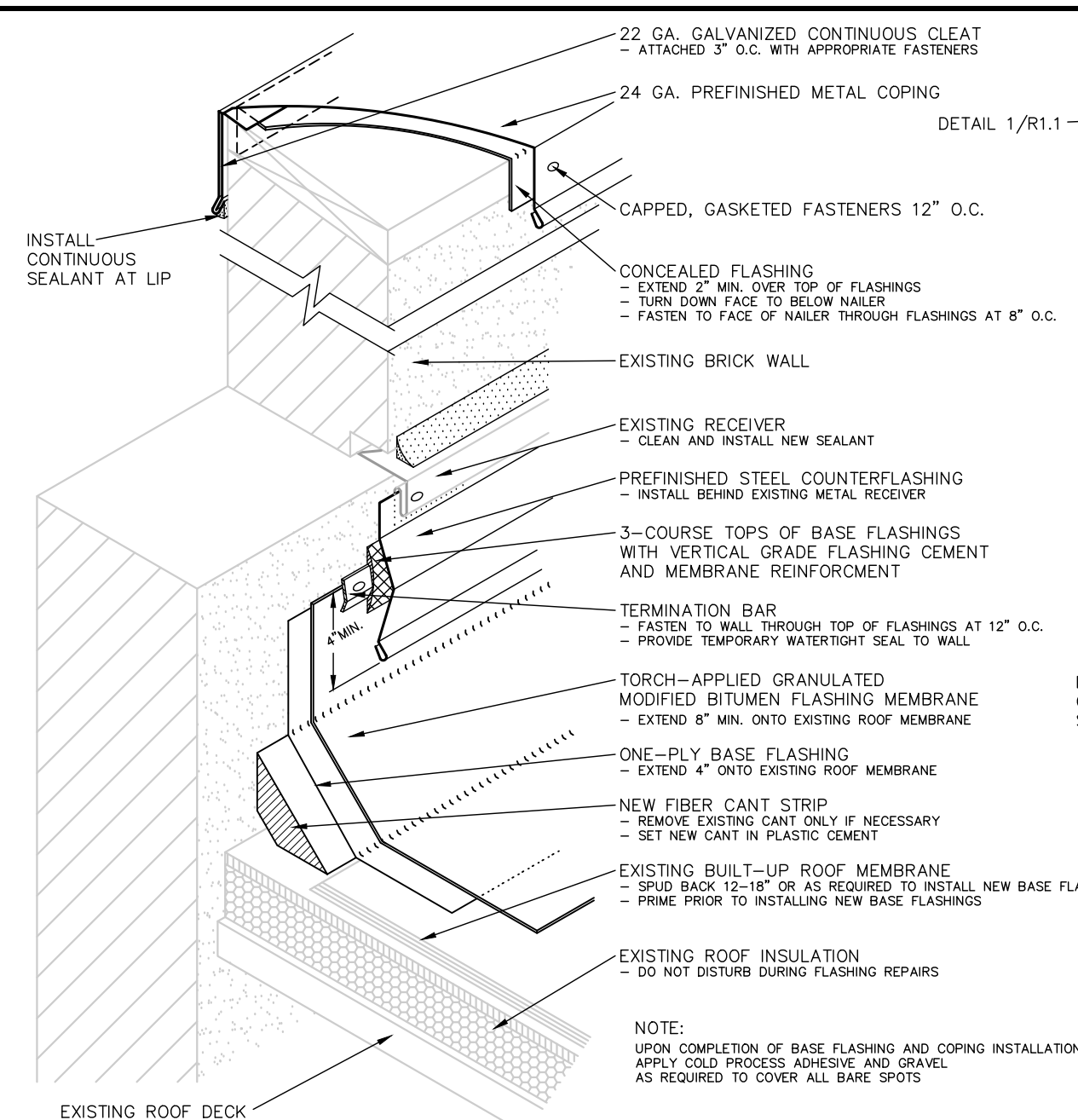
DRAWING DATES		
NUMBER	DATE	COMMENTS

• 1 12/1/17 ISSUE FOR BID

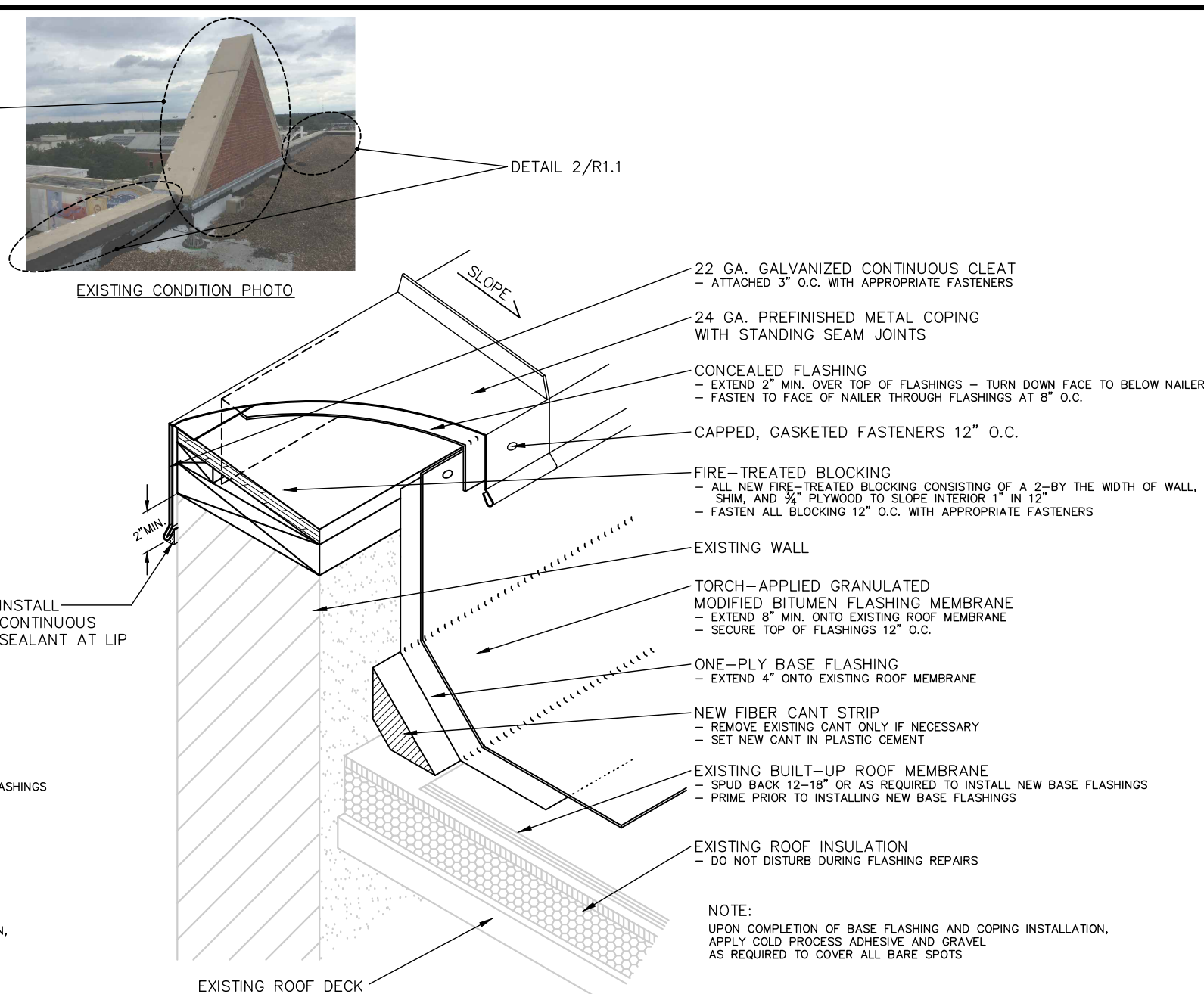
DRAWING TITLE
ROOF PLANS

SHEET NUMBER

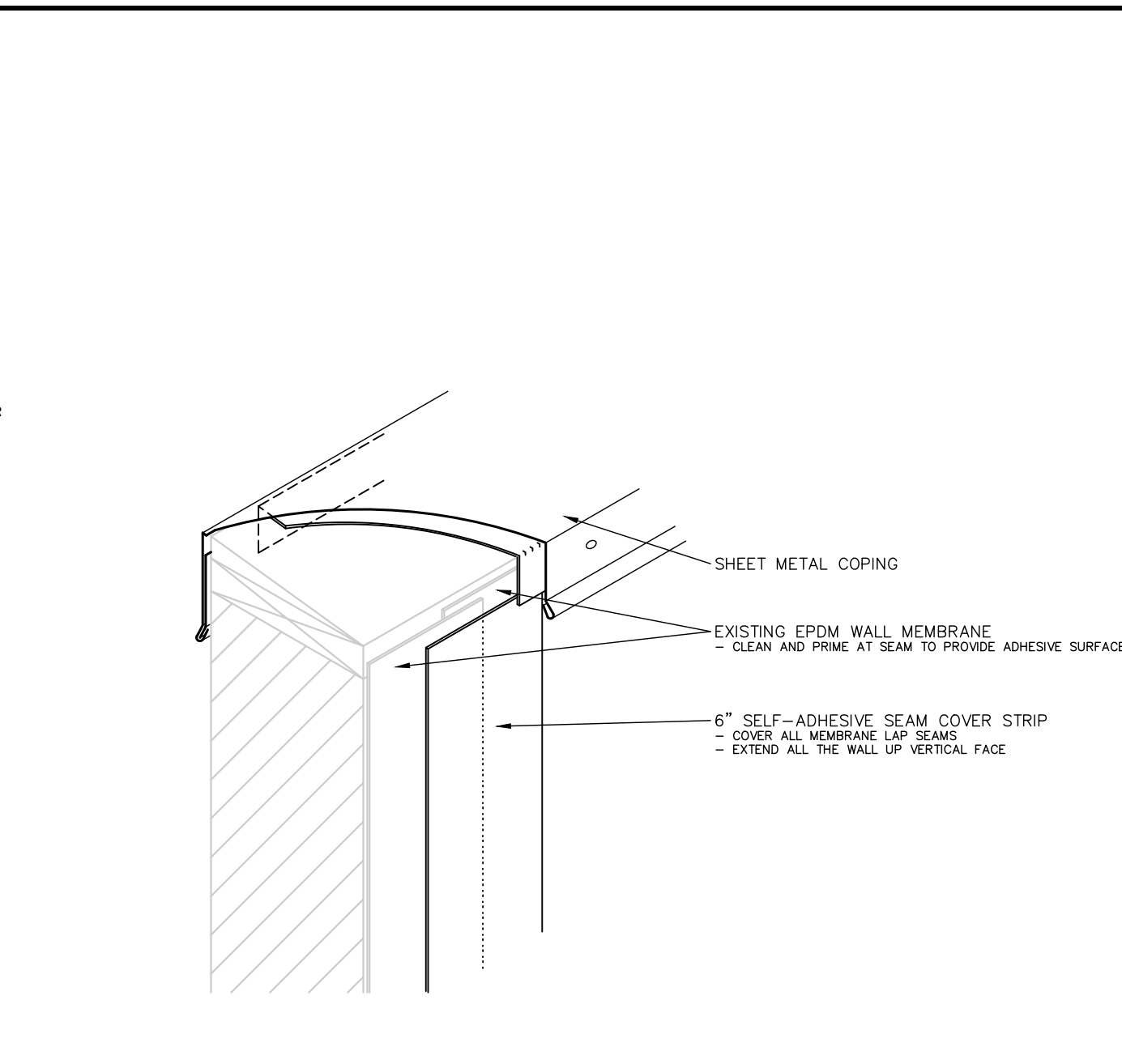
R1.0



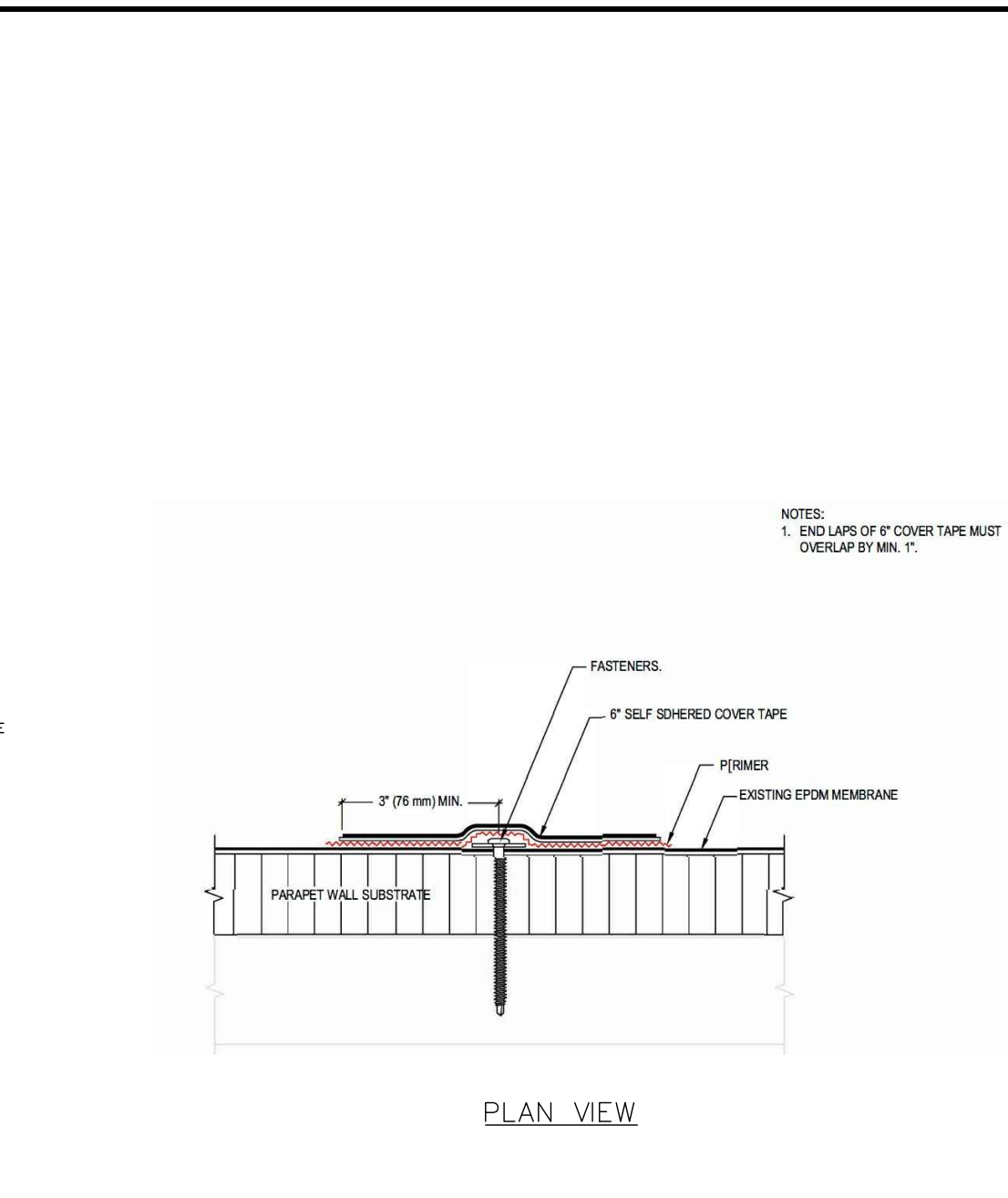
1 WALL FLASHING
N.T.S



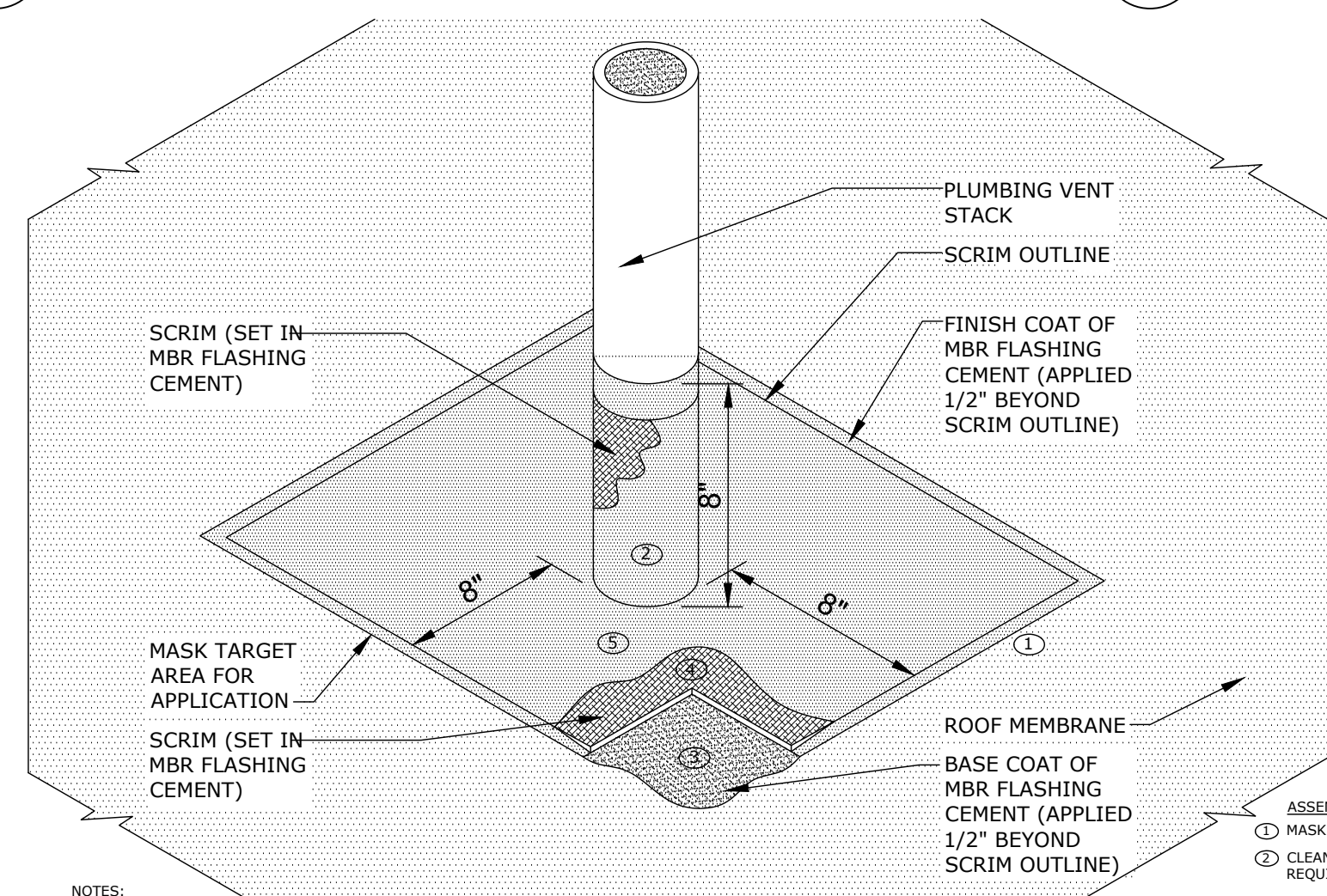
2 PARAPET FLASHING
N.T.S



3 TYPICAL WALL SEAM
N.T.S



4 WALL SEAM PLAN VIEW
N.T.S



5 PIPE PENETRATION
N.T.S

NOTES:
A. ENSURE TOTAL TARGET AREA OF FLASHING IS NO LESS THAN 16" x 16".
B. AN EXTRA COAT OF MBR FLASHING CEMENT MUST BE PLACED BETWEEN SCRIM LAYERS WHERE THEY OVERLAP TO ENSURE A PROPER BOND.
C. REFER TO APPLICATION INSTRUCTIONS FOR GENERAL GUIDELINES REGARDING THE PERMAFLASH SYSTEM.

ASSEMBLY
① MASK TARGET AREA ON ROOF MEMBRANE AND PENETRATION.
② CLEAN & PRIME ALL NON-POROUS AREAS (METAL, ETC.) REQUIRING LIQUID MEMBRANE WITH PRIMER.
③ APPLY 30 MIL. BASE COAT OF MBR FLASHING CEMENT WITHIN TARGET AREA. (A BRUSH WORKS BEST).
④ EMBED SCRIM(S) INTO WET BASE COAT OF MBR FLASHING CEMENT, 1/2" SHORT OF TARGET AREA.
⑤ IMMEDIATELY AFTER EMBEDDING THE SCRIM, APPLY 60 MIL. FINISH COAT OF MBR FLASHING CEMENT OVER SCRIM AND 1/2" BEYOND, ENSURING SCRIM IS COMPLETELY EMBEDDED.
⑥ REMOVE MASKING TAPE IMMEDIATELY AFTER APPLICATION OF FINISH COAT.
⑦ AFTER ALLOWING FLASHING TO CURE, PAINT WITH MANUFACTURER'S FIBERED ALUMINUM COATING

DRAWING DATES
NUMBER DATE COMMENTS

• 1 12/1/17 ISSUE FOR BID

DRAWING TITLE
ROOF DETAILS

SHEET NUMBER

R1.1

PROJECT
ROOFING REPAIRS
 LEE G. ALWORTH BUILDING
 207 WEST PHILLIPS
 CONROE, TEXAS 77301
 COURT ANNEX A
 210 WEST DAVIS STREET
 CONROE, TEXAS 77301
MONTGOMERY COUNTY TEXAS



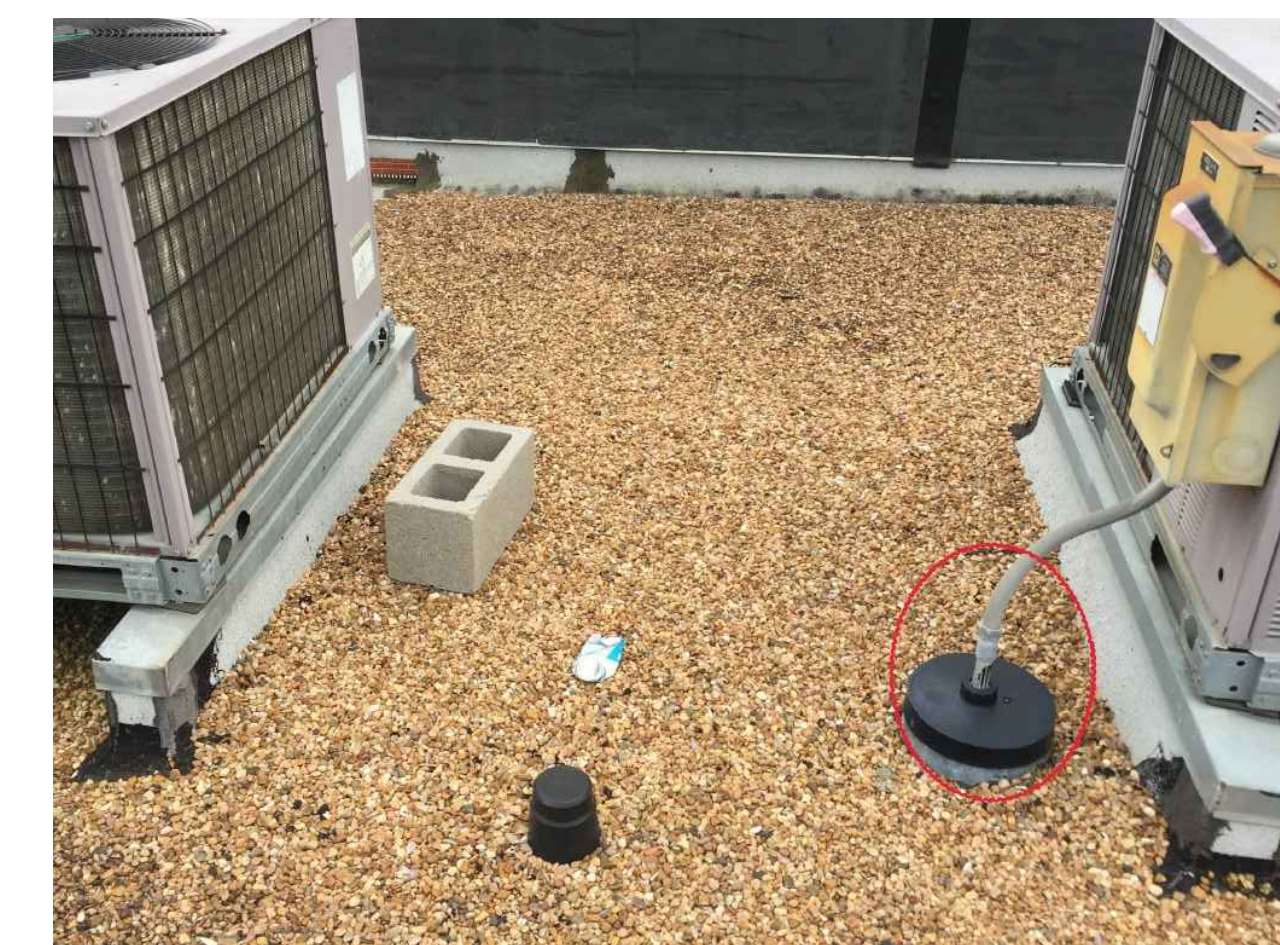
1 PHOTO
N.T.S



2 PHOTO
N.T.S



3 PHOTO
N.T.S



4 PHOTO
N.T.S



5 PHOTO
N.T.S



6 PHOTO
N.T.S

DRAWING DATES		
NUMBER	DATE	COMMENTS
• 1	12/1/17	ISSUE FOR BID

DRAWING TITLE
ROOF PHOTOS

SHEET NUMBER
PH1.0